

UNIVERSITY OF DAR ES ALAAM  
DAR ES SALAAM UNIVERSITY COLLEGE OF EDUCATION



CONDITION SURVEY REPORT  
FOR  
CONSULTANCY SERVICES FOR COLLEGE BUILDINGS AND INFRASTRUCTURE  
TO BE REHABILITATED (REVIEW BILL OF QUANTITIES, ASSOCIATED DESIGN,  
DRAWINGS AND SUPERVISION OF REHABILITATION WORKS)

PREPARED AND SUBMITTED BY; Lead Consultant and Project Architects

**OGM CONSULTANTS**

In Association with Civil/ Structural Engineers

**ANOVA CONSULT CO LTD**

Quantity Surveyors

**BUILD CONSULT TANZANIA LIMITED**

Services Engineers

**ML ENGINEERING CONSULTANCY LTD.**

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- 5.0 CONCLUSION.





## 1.0. INTRODUCTION

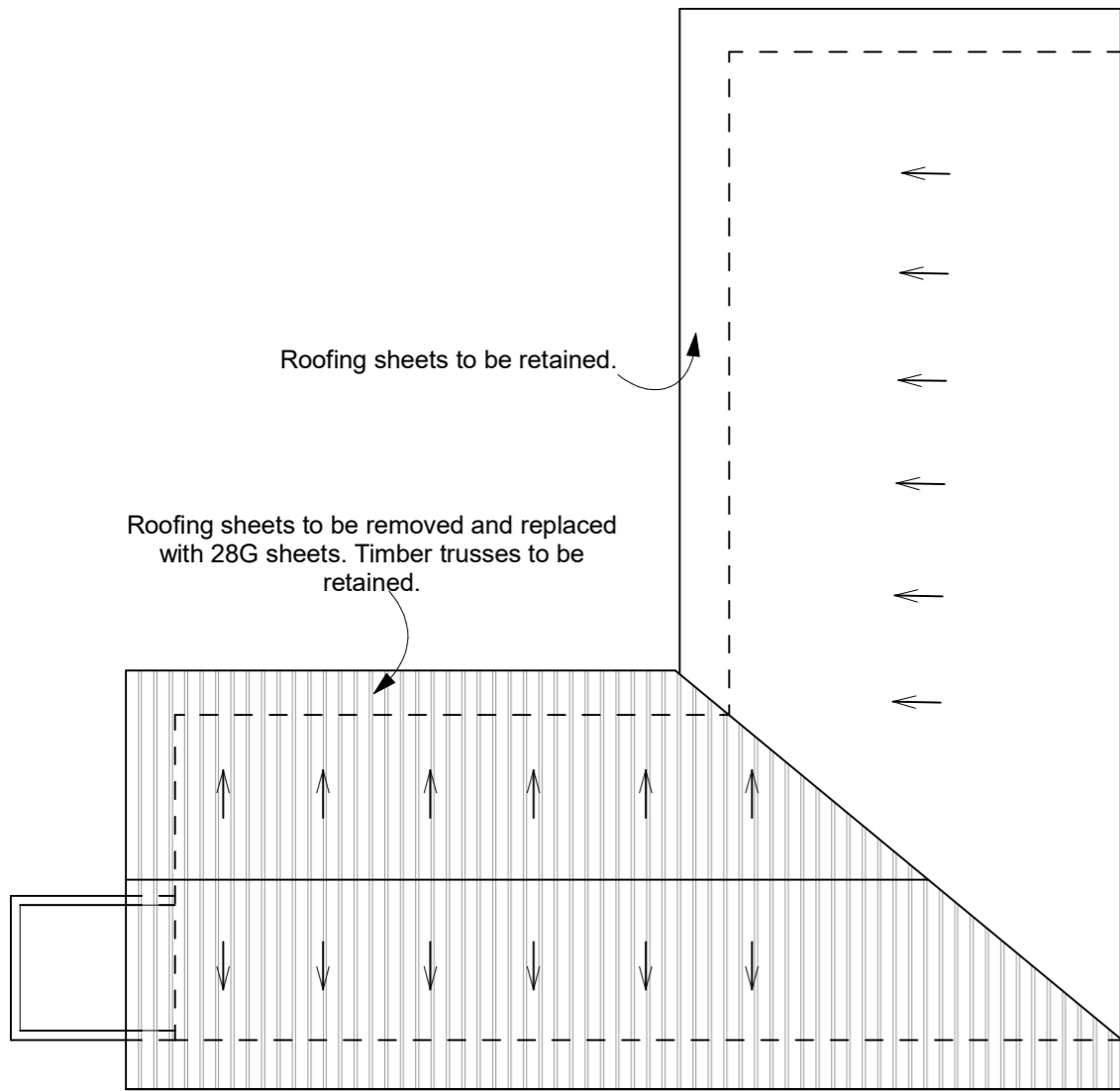
Site visit for the rehabilitation works was conducted by Clients and Consultants from 1130 hours to 1530 hours on 5<sup>th</sup> December, 2023 at DUCE and on 8<sup>th</sup> December, 2023 at Mbagala Hostels. Some of the observed areas to be rehabilitated were already stated in the B.O.Q which will be reviewed by Consultant's Quantity Surveyor and some were observed to be new.

## 2.0 INSPECTION CHARTS FOR REHABILITATION WORKS:

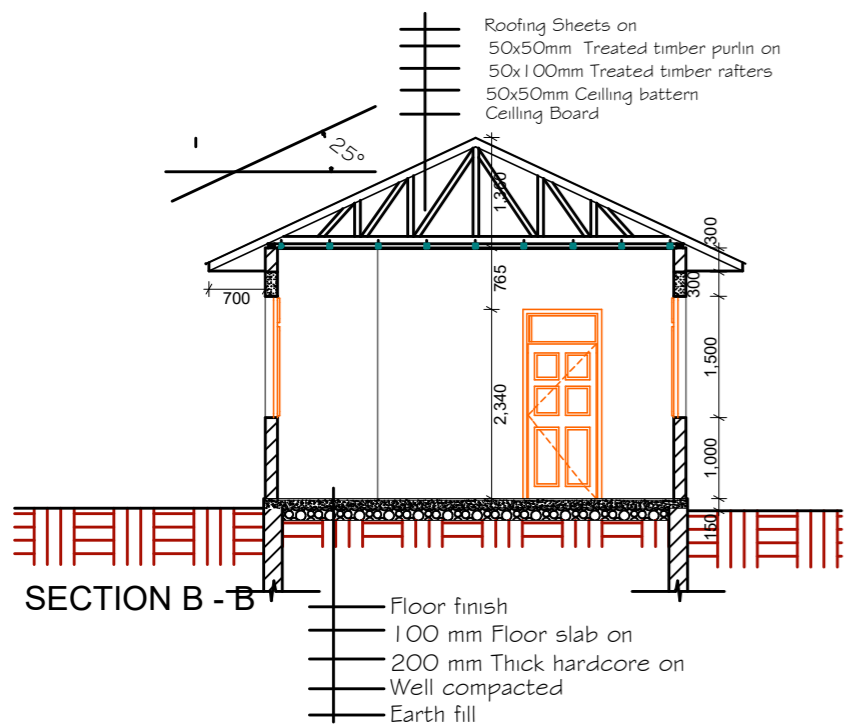
The chart below shows activities of the buildings to be rehabilitated versus what was observed for Consultants' further actions.

<b>VOLUME 2.1 - ESTATE AND PMU BUILDING</b>			
S.No.	SCHEDULE OF REHABILITATION WORKS AS PER B.O.Q	CONSULTANT'S REVIEW AFTER A CONDITION SURVEY	PHOTOGRAPHS
1.1	<b>WORKS TO ROOFS</b> Remove existing roofing sheets to replace with 28Gauge Resin colour coated IT5 Aluminium sheets the new one.  <b>Quantity=100 sq.m</b>	For this building, only red colored roof sheets to be removed. The rest to remain. As Consultants, we recommend all roofing sheets to be IT 5 with 26 Gauge since it is more durable than 28 Gauge. <b>Quantity = As per drawing</b>	
1.2	<b>WORKS TO CEILINGS</b> Remove existing damaged chipboard to offices and fix gypsum boards. <b>Quantity=130 sq.m</b>	Existing damaged chipboard to offices will be removed and gypsum boards will be fixed. <b>Quantity= As per drawing</b>	
1.3	<b>PAINTING WORKS</b> Scrap off loose paint and repaint the surface to internal <b>Quantity=600 sq.m</b>	Loose paint will be scrapped off and surfaces of the internal walls will be repainted <b>Quantity= As per drawing</b>	
1.4	<b>LIGHT PARTITIONING WORKS</b> Demolish existing Timber - plywood partition to offices at	Existing timber – plywood partition will be demolished and Aluminium Partition will be fixed up to ceiling height.	

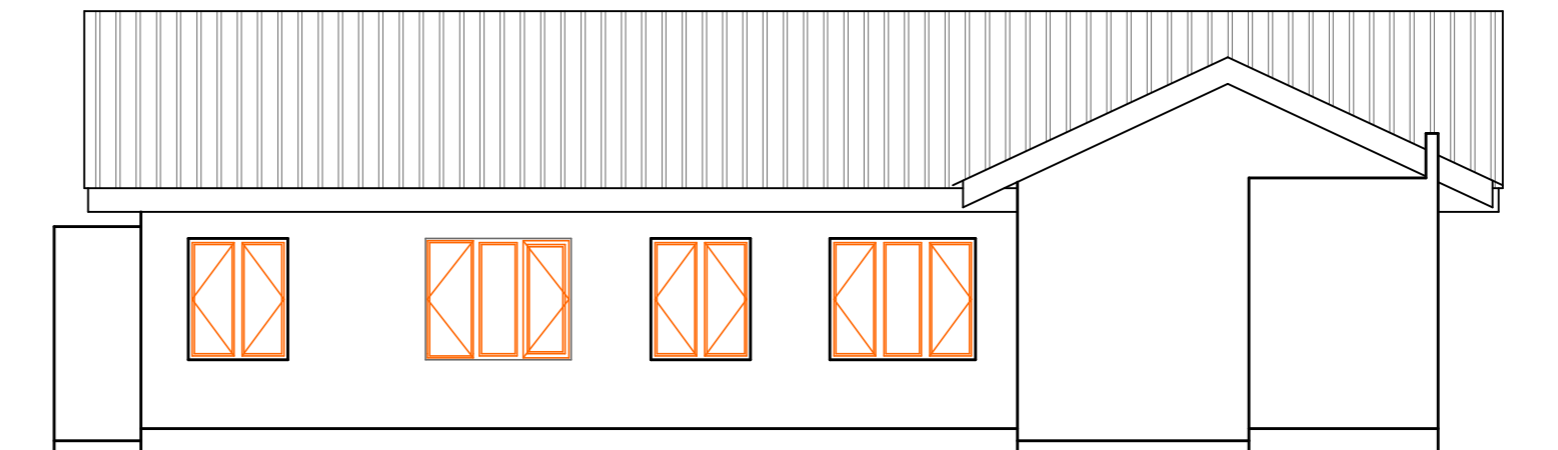
	PMU building and fix Aluminium partitions. <b>Quantity=30 sq.m</b>	<b>Quantity= As per drawing</b>	
1.5	<b>RAIN WATER CONT- ROL ON FLAT ROOF</b> Temporarily disconnect and remove existing steel water tank on roof slab to expose the underlying leaking roof slab and reinststate after works completion <b>Quantity= 3 sq.m</b>	Prepare surface and apply Xypex waterproofing or equal and approved roof water proofing treatment on roof slab including all necessary finishings  <b>Quantity= As per drawing</b>	
1.6	<b>FINISHINGS</b> Remove temporarily existing furniture and hack off existing floor screed and fix Porcelain floor tiles. <b>Quantity= 130 sq.m</b>	Existing floor screed will be hacked off and floor tiles will be fixed. As Consultants, we recommend all floor tiles to be of R.A.K brand Porcelain Tiles full body. <b>Quantity= As per drawing</b>	
1.7	<b>WORKS TO WINDOWS</b> Remove broken window glass panes and replace with new 5mm clear glass including making good disturbed works. <b>Quantity= 1 sq.m</b>	Broken window glass panes will be removed and replaced with the new ones.  <b>Quantity= As per drawing</b>	
1.8	<b>NEW WORKS: DAMAGED AREAS WHICH WERE NOT INCLUDED IN CLIENT'S SCOPE BUT THEY ARE INCLUDED IN OUR B.O.Q</b>		
	<ul style="list-style-type: none"> <li>Doors Painting: Painting of doors which cover 44sqm</li> <li>Door Frames Painting: Painting of door frames with 100 running meters</li> <li>Wall Tiles: Supply and fix ceramic wall tiles of R.A.K brand full body.</li> </ul>		
1.9	<b>NEW WORKS: DAMAGED AREAS WHICH ARE RECOMMENDED TO BE DONE IN THE FUTURE</b>		
	<ul style="list-style-type: none"> <li>Ironmongeries</li> <li>Kitchen cabinets</li> </ul>		



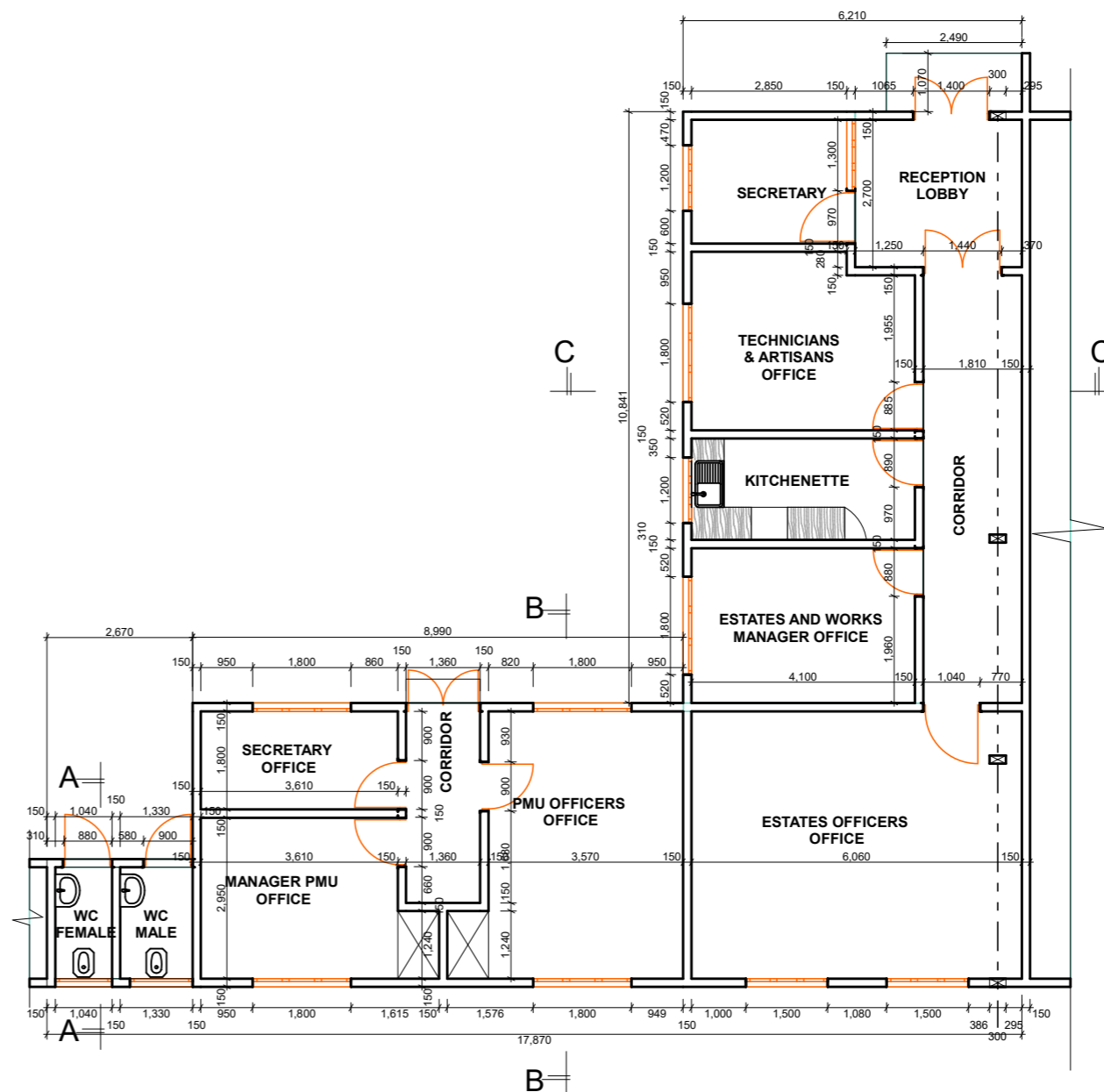
ROOF PLAN



SECTION B - B



RIGHT ELEVATION



GENERAL NOTES:

- All dimensions are in mm unless otherwise specified
- All works to be carried out in accordance with council regulations
- Contractor to check and verify all dimensions on site before commencement of any works

REVISIONS:

No.	

LEAD CONSULTANTS AND ARCHITECTS:

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**OGM** Consultants  
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IN ASSOCIATION WITH:

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Build Consult Ltd  
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Dar es Salaam, Tanzania

**Structural Engineers:**  
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P.O. Box 95107  
Dar es Salaam, Tanzania

**Service Engineers:**  
**ML ENGINEERING CONSULTANCY LTD**  
P.O. Box 70267  
Dar es Salaam, Tanzania

Project Title:

**PROPOSED REHABILITATION OF ESTATE AND PMU BUILDING.**

Client:  
**DAR ES SALAAM UNIVERSITY OF COLLEGE EDUCATION**



Drawing Type: ARCHITECTURAL DRAWINGS  
Drawing Title: FLOOR, ROOF & SECTION, ELEVATION PLAN


Drawing Details:  
Designed By: ogm  
Drawn By: ogm  
Checked By: Modu  
Date: FEB, 2024  
Scale: 1:100  
SHEET NO

**LOT 2.1 - ESTATE AND PMU BUILDING.**

**LEGEND:**

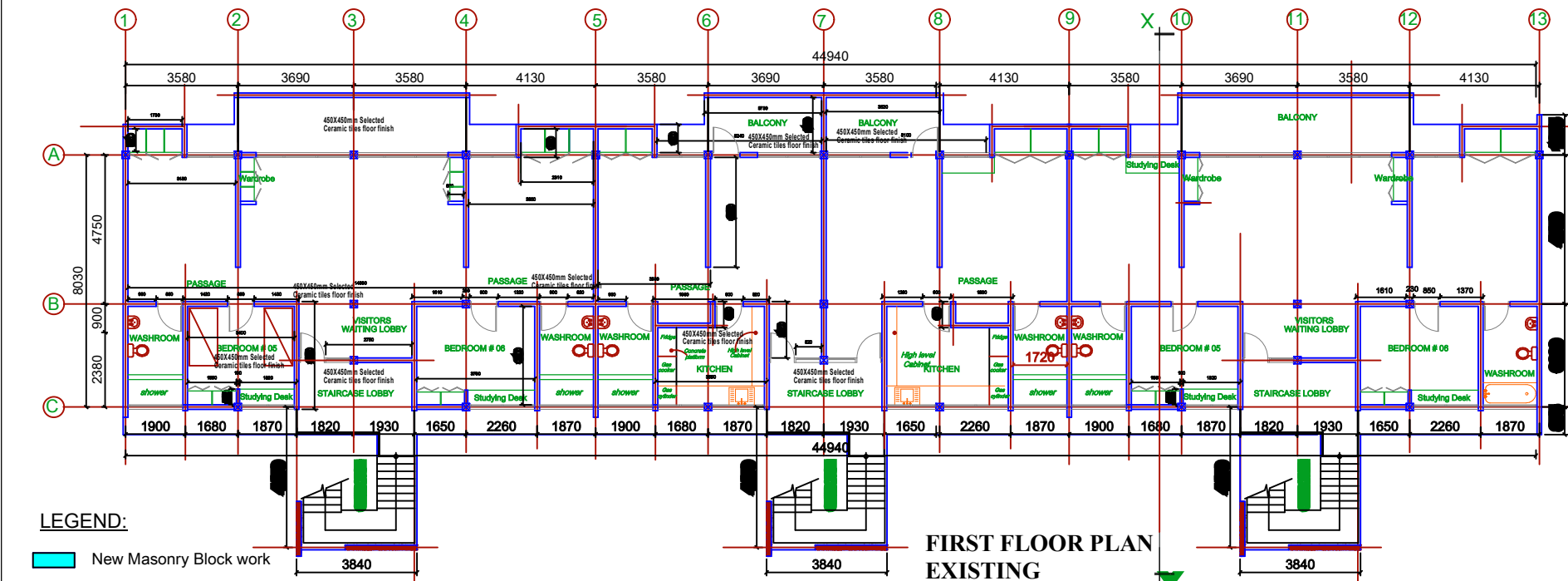
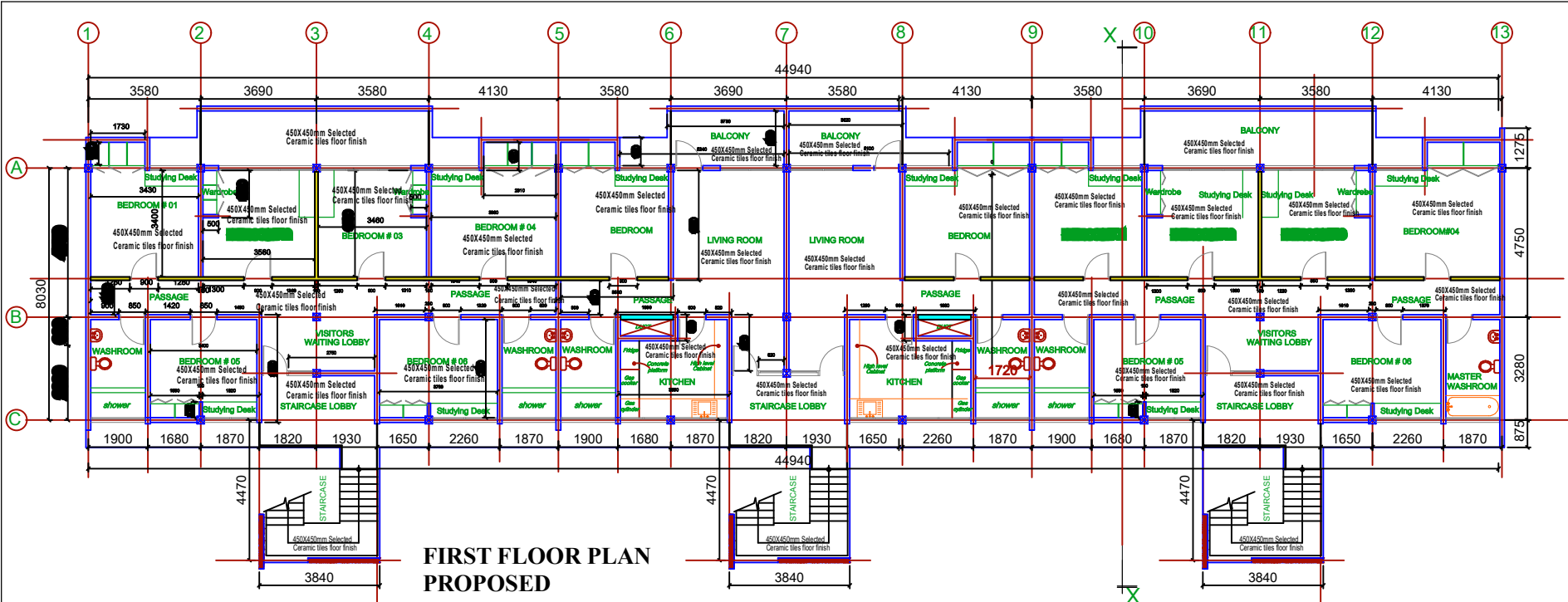
- 1: Roofing sheets to be removed and replaced with 28G sheets.
- 2: Roofing sheets to be retained.

<b>VOLUME 2.2 - KIJJI‘A’BUILDING (POST GRADUATE AND RESEARCH STUDENTS’ HOSTELS)</b>			
<b>S.No.</b>	<b>SCHEDULE OF REHABILITATION WORKS AS PER B.O.Q</b>	<b>CONSULTANT’S REVIEW AFTER A CONDITION SURVEY</b>	<b>PHOTOGRAPHS</b>
2.1	<b>WALLING</b> Light partition Supply all materials, fabricate and erect gypsum boards.  <b>Quantity=12 No.</b>	Gypsum boards will be fixed as instructed.  <b>Quantity = As per drawing</b>	
2.2	<b>DOORS, CUPBOARDS AND KITCHEN WALL CABINETS</b> Fix prime quality Mkongo or other equal and approved well-seasoned local hardwood as per existing door with their ironmongeries.  <b>Quantity=24 No.</b>	Existing damaged chipboard to offices will be removed and gypsum boards will be fixed.  <b>Quantity= As per drawing</b>	
2.3	<b>FINISHINGS</b> Tiles, slab or block finishings Fix Porcelain floor tiles with cushion edges fixed to screed with adhesive and pointed with coloured grout. Fix white glazed ceramic wall tiles with cushion edges to BS 1282 fixed to backing with adhesive and pointed with white cement  <b>Quantity=570 sq.m Flr. Tiles =50 sq.m Wall Tiles</b>	As Consultants, we recommend all floor tiles to be of R.A.K brand Porcelain Tiles full body and Ceramic for Wall Tiles.  <b>Quantity= As per drawing</b>	
2.4	<b>DECORATIONS</b> Internal and External work Prepare and apply one finishing coats of a) Existing painted walls and light walls	Two finishing coats of Goldstar or equal approved will be applied	

	b) Ceiling Prepare and apply one undercoat and two finishing coats of Goldstar satin wood preservative matt finish on wood surfaces.  <b>Quantity=2,500 sq.m Internal Walls =428 sq.m Ceiling</b>	<b>Quantity= As per drawing</b>	
2.5	<b>PLUMBING, DRAINAGE AND ENGINEERING INSTALLATIONS</b>  Installation of all service works. Their Items have been listed in BOQ.	All service works will be installed  <b>Their Items have been listed in BOQ.</b>	
2.6	<b>AS BUILT DRAWINGS AND OPERATION MANUALS</b> Three bound sets of hardcopy As Built Drawings are to be prepared.  <b>Quantity= 1</b>	Contractor will be instructed to prepare As Built drawings as instructed.  <b>Quantity= As per drawing</b>	
2.7	<b>TESTING AND COMMISSIONING</b> Testing and commissioning of the entire installations should be done to the requirement of Engineer..  <b>Quantity= 1</b>	Testing and Commissioning will be done before Practical Completion of the project  <b>Quantity= As per drawing</b>	
2.8	<b>STEEL FABRICATION, WELDING WORKS, WORKS TO ROOFS AND BUILDERS’ WORKS</b> Door Grills Fabricate and Fix Door grilles as per sample primed and coated with atleast two coats of gloss Black paint square pipe	Door grills will be painted to match existing	

	framing matching existing and including triple throw lock as of GOODLUCK or other equal and approved including associated iron Mongeries and making good disturbed works.  <b>Quantity=3 Nos.</b>		
2.9	<b>Balusters</b> Fix steel balustrade size to canopies          <b>Quantity= 6 Nos</b>	Provide 304 stainless steel with 63mmø Polished stainless-steel handrail welded to 30mmø Stainless steel pipe balusters, corrosion resistant, heat resistance, High strength performance to support a continuous load to approval including all necessary accessories.  <b>Quantity= As per drawing</b>	
2.10	<b>ROOF</b> Supply materials,fabricate,fix and erect galvanised Roofing sheets g28 IT5 as ALAF          <b>Quantity=105 sq. m.</b>	26 Gauge; Aluzinc; IT5; resin coat roofing sheet lapped to sides and ends as per manufacturer's specifications; Color coated over metallic coating with double coat over primer paint, as manufactured by ALAF Limited or equal approved manufacturer  <b>Quantity= As per drawing</b>	
2.11	<b>FLAT ROOF</b> Expansion Joint Scrap of existing debris and dust on existing expansion joint, seal by applying a coat of Polyurethane sealant as of Sika, Quickrette Brand or other approved equivalent.	Scrap of existing debris and dust on existing expansion joint, seal by approved polystyrene materials or equal approved; rubber flex materials; silicon galvanized screw inserted on plastic fischer; including well	

		treated timber finish as architect /engineer's details and instructions  <b>Quantity=20 LM</b>	
2.12	<b>Builder's Work:</b> Allow some for hacking to floors, cutting protruded steel pipes including making good disturbed works as per engineer's instructions.	Protruded steel pipes will be cut and disturbed works will be made good	
2.13	<b>Beds, Carpentry and Joinery</b> Fix prime quality Mkongo or other equal and approved well seasoned local hardwood high quality gloss finished complete with mattress as of Magodoro Dodoma/ Confy or other equal and approved as per samples.  <b>Quantity=10 Beds</b>	Local hardwood quality Mkongo or other equal and approved will be fixed.  <b>Quantity= As per drawing</b>	
2.14	<b>Studying desks and Chairs</b> Fix prime quality Mkongo or other equal and approved well-seasoned local hardwood as per sample.  <b>Quantity=14 Studying Desks = 28 chairs</b>	<b>ITEM OMITTED</b>	
<p>Note;</p> <ul style="list-style-type: none"> <li>For this building, only First Floor is to be rehabilitated.</li> <li>Finishing materials on this floor should match the ones done on Ground Floor.</li> </ul>			
2.15	<b>NEW WORKS: DAMAGED AREAS WHICH WERE NOT INCLUDED IN CLIENT'S SCOPE BUT THEY ARE INCLUDED IN OUR B.O.Q</b>  <ul style="list-style-type: none"> <li><b>Introduction of gutter:</b> 150mm uPVC gutter fixed to fascia board with standard holder bats.</li> <li><b>Introduction of Down Water Pipe:</b> 100mm uPVC down water pipe fixed to wall with standard holder bats.</li> </ul>		



- LEGEND:**
- New Masonry Block work
  - New light partition wall

**LOT 2.2 - KIJJI "A" BUILDING.**

**GENERAL NOTES:**

1. All dimensions are in mm unless otherwise specified
2. All works to be carried out in accordance with council regulations
3. Contractor to check and verify all dimensions on site before commencement of any works

**REVISIONS:**

No.	Description	Date

**LEAD CONSULTANTS AND ARCHITECTS:**

**Consulting Architects and planners**

**OGM** OGM Consultants  
P.O. Box 32428  
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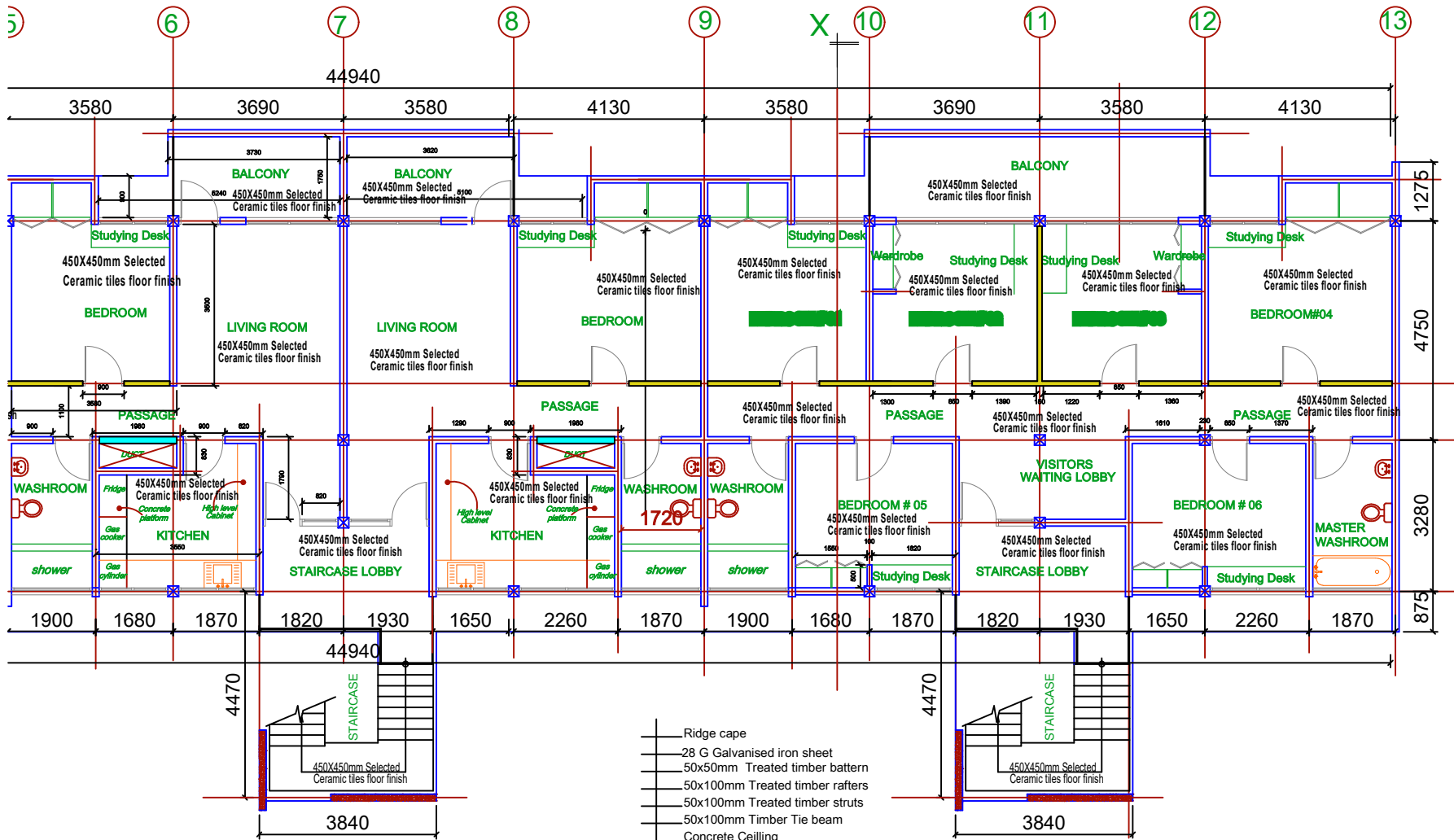
**Service Engineers:**

**ML ENGINEERING CONSULTANCY LTD**  
P.O. Box 70267  
Dar es Salaam, Tanzania

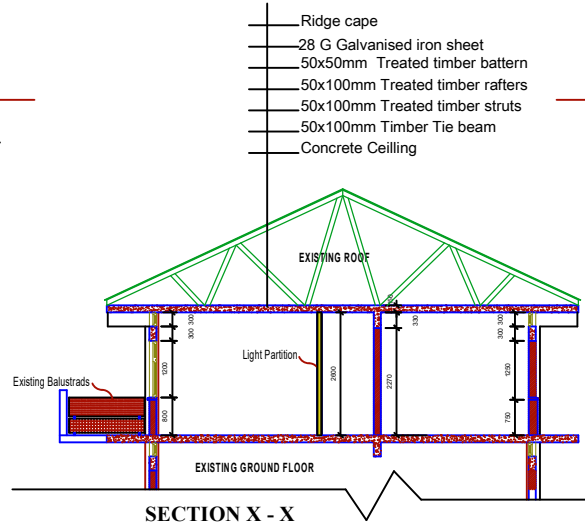
Project Title:  
**PROPOSED REHABILITATION OF KIJJI "A" BUILDING.**

Client:  
**DAR ES SALAAM UNIVERSITY COLLEGE OF EDUCATION**

Drawing Type: ARCHITECTURAL DRAWINGS	Drawing Title: <b>FLOOR PLAN</b>
Drawing Details:	
Designed By: ogm	Drawn By: ogm
Checked By: Modu	Scale: 1:100
Date: FEB, 2024	SHEET NO



- New Masonry Block work
- New light partition wall







SECTION X - X

**LOT 2.2 - KIJJI "A" BUILDING.**

<b>GENERAL NOTES:</b>			
1. All dimensions are in mm unless otherwise specified			
2. All works to be carried out in accordance with council regulations			
3. Contractor to check and verify all dimensions on site before commencement of any works			
<b>REVISIONS:</b>			
No.			
<b>LEAD CONSULTANTS AND ARCHITECTS:</b>			
<b>Consulting Architects and planners</b>			
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<b>IN ASSOCIATION WITH:</b>			
<b>Quantity Surveyors:</b>			
Build Consult Ltd P.O. Box 32322 Dar es Salaam, Tanzania			
<b>Structural Engineers:</b>			
Anova Consult Company Ltd P.O. Box 95107 Dar es Salaam, Tanzania			
<b>Service Engineers:</b>			
ML ENGINEERING CONSULTANCY LTD P.O. Box 70267 Dar es Salaam, Tanzania			
Project Title:			
<b>PROPOSED REHABILITATION OF KIJJI "A" BUILDING.</b>			
Client:			
DAR ES SALAAM UNIVERSITY COLLEGE OF EDUCATION			
Drawing Type:		Drawing Title:	
ARCHITECTURAL DRAWINGS		BLOW UP FLOOR & SECTION PLAN	
Drawing Details:			Scale:
Designed By: ogm			1:100
Drawn By: ogm			SHEET NO
Checked By: Modu			
Date: FEB, 2024			



<b>VOLUME 2.3 - EDUCATION BLOCK</b>			
<b>S.No.</b>	<b>SCHEDULE OF REHABILITATION WORKS AS PER B.O.Q</b>	<b>CONSULTANT'S REVIEW AFTER A CONDITION SURVEY</b>	<b>PHOTOGRAPHS</b>
3.1	<b>ELECTRICAL INSTALLATIONS.</b> Upgrade existing electrical system of the whole building. <b>Quantity = The whole Building.</b>	The existing electrical system of the whole building will be upgraded  <b>Quantity = The whole Building</b>	
3.2	<b>PLUMBING, DRAINAGE AND ENGINEERING INSTALLATIONS.</b> Upgrade existing plumbing system of the whole building.  <b>Quantity = The whole Building</b>	The existing plumbing system of the whole building will be upgraded  <b>Quantity = The whole Building</b>	 
3.3	<b>WALLING</b> Expansion Joints 20mm Styrofoam expansion joint filler set horizontally between floors Point exposed horizontal edge of expansion joint with 20 x 25mm plastic sealor (provisional). 3mm Thick aluminium cover strip to expansion joint, 575mm wide, bent to required shape and curved irrespective of radius including wedging and pointing into blockwall (provisional). <b>Quantity = 5 Sq.m.</b>	It will be done as instructed in B.O.Q  <b>Quantity = As instructed in BOQ</b>	

3.4	<b>DOORS</b> Fix prime quality mkongo or other equal and approved well seasoned local hardwood with its ironmongeries.  <b>Quantity= 32 Nos.</b>	Hard wood doors with quality Mkongo or other equal and approved will be fixed  <b>Quantity= As per drawing</b>	 
3.5	<b>FLOOR TILES</b> Remove floor tiles in order to allow for replacement of defective ones.  Supply and fix porcelain floor tiles 300mm x 300mm to match with existing one fixed to screed with adhesive pointed with approved colored grout and Steel strips.  <b>Quantity = 300 Sq.m.</b>	300mm x 300mm porcelain floor tiles with R.A.K brand will be fixed.  <b>Quantity = As per drawing</b>	
3.6	<b>RAMP</b> Construct ramp overall size 400x4700mm long, height from existing floor level made of concrete block wall, external plastered and internal filled with well compacted hardcore and sand, bed covered with 100mm plain insitu concrete grade 20 fair finished including preparing the area.  <b>Quantity= 1</b>	1400x8000mm long ramp overall size will be constructed , height from existing floor level made of concrete block wall, external plastered and internal filled with well compacted hardcore and sand, bed covered with 100mm plain insitu concrete grade 20 fair finished including preparing the area.  <b>Quantity= As per drawing</b>	
3.7	<b>NEW WORKS: DAMAGED AREAS WHICH WERE NOT INCLUDED IN CLIENT'S SCOPE BUT THEY ARE INCLUDED IN OUR B.O.Q</b>  • <b>Toilet Ceiling:</b> - Toilet ceiling is damaged. To be checked and rectified.		



<b>VOLUME 2.4 - LIBRARY BUILDING (NEW WING)</b>			
<b>S.No.</b>	<b>SCHEDULE OF REHABILITATION WORKS AS PER B.O.Q</b>	<b>CONSULTANT'S REVIEW AFTER A CONDITION SURVEY</b>	<b>PHOTOGRAPHS</b>
4.1	<p><b>PLUMBING WORKS</b> Remove damaged and malfunctioning plumbing fittings and fixtures; supply and fix/install new plumbing fittings and fixtures</p> <p><b>Quantity= Plumbing fixtures are listed in B.O.Q</b></p>	<p>All damaged malfunctioning plumbing fixtures will be removed and replaced with the new ones</p> <p><b>Quantity = Plumbing fixtures are listed in B.O.Q</b></p>	
4.2	<p><b>MASONRY WORKS</b> <b>Toilet Floor:</b> Remove wall and floor tiles in order to allow construction with masonry blocks to raise floor level by 300mm high and increasing the height of partition walls for enabling to change Western WC type to Eastern WC type. <b>Quantity= 5.6 Sq.m.</b></p>	<p>Floor level will be raised and partition walls height will be increased.</p> <p><b>Quantity= As per drawing</b></p>	
4.3	<p><b>FINISHING</b> Floor Tiles (Toilets) Supply and fix porcelain floor tiles 300mm x 300mm to match with existing ne. <b>Quantity= 4.8 Sq.m</b></p>	<p>400 x 400mm floor tiles in toilets will be fixed with Xypex waterproofing underlayment followed by Full bodied non-glazed R.A.K. Porcelain floor tiles or equal and approved brand with cushion edges fixed to screed bed with adhesive and pointed with colored grout.</p> <p><b>Quantity= As per drawing</b></p>	
4.4	<p><b>FINISHING</b></p>	<p>600 x 6500mm floor tiles on other areas will be fixed with</p>	

	<p>Floor Tiles (Other areas) Supply and fix porcelain floor tiles 600mm x 600mm to match with existing one.</p> <p><b>Quantity=1,270 Sq.m.</b></p>	<p>Xypex waterproofing underlayment followed by Full bodied non-glazed R.A.K. Porcelain floor tiles or equal and approved brand with cushion edges fixed to screed bed with adhesive and pointed with coloured grout</p> <p><b>Quantity= As per drawing</b></p>	
4.5	<p><b>ALUMINIUM WORKS</b> Carefully, dismantle; remove the louvers glasses windows and prepare the surface left behind including make good work disturbed. Supply and fix Aluminum (Sliding) windows. <b>Quantity= 6 Nos.</b></p>	<p>Louvered glass windows will be removed and replaced with Aluminium</p> <p><b>Quantity= As per drawing</b></p>	
4.6	<p><b>NEW WORKS: DAMAGED AREAS WHICH WERE NOT INCLUDED IN CLIENT'S SCOPE BUT THEY ARE INCLUDED IN OUR B.O.Q</b></p> <ul style="list-style-type: none"> <li>• Painting Scrap off loose paint and repaint the surface.</li> <li>• Window Glass Window glass pane in computer room has broken. To be checked and rectified.</li> <li>• Air Condition The damaged air condition in Computer Room is to be replaced with the new one.</li> </ul>		

GENERAL NOTES:

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3. Contractor to check and verify all dimensions on site before commencement of any works

REVISIONS:

No.		

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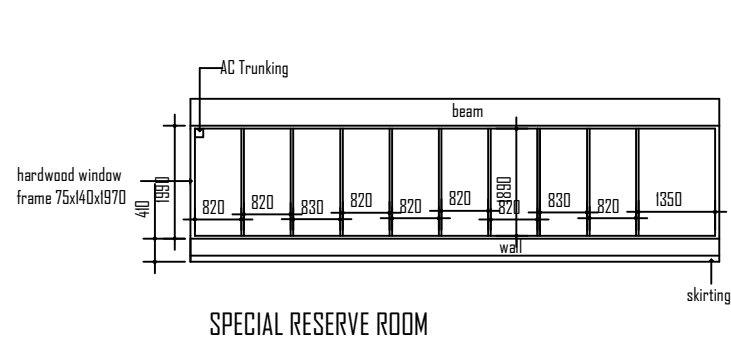
**PROPOSED REHABILITATION OF LIBRARY BUILDING (NEW WING).**

Client:  
**DAR ES SALAAM UNIVERSITY COLLEGE OF EDUCATION**

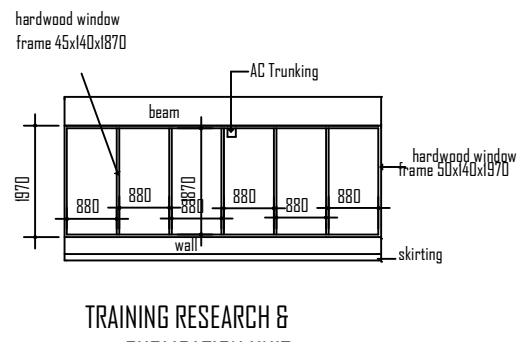
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Drawing Title: ELEVATION PLAN

Drawing Details : Scale: 1:100  
Designed By: ogm / Drawn By: ogm / Checked By: Modu / SHEET NO.  
Date: FEB, 2024

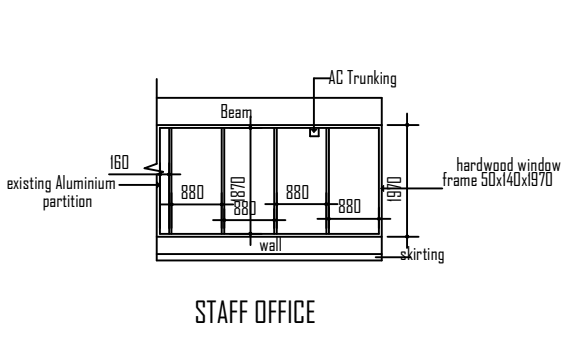
EXISTING WINDOWS



SPECIAL RESERVE ROOM

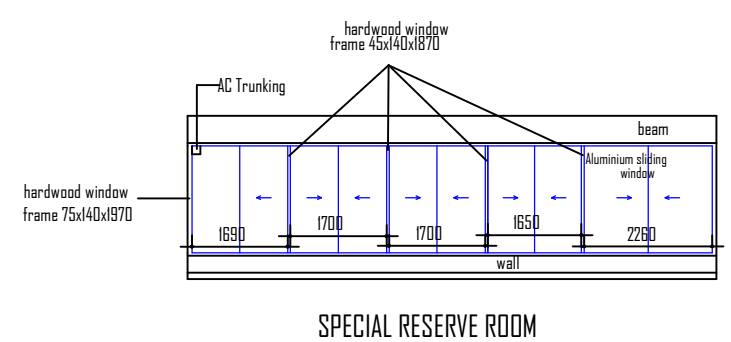


TRAINING RESEARCH & PUBLICATION UNIT

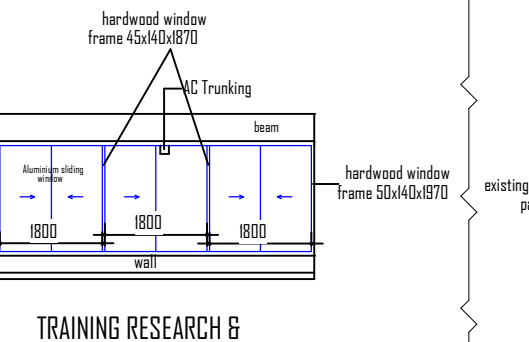


STAFF OFFICE

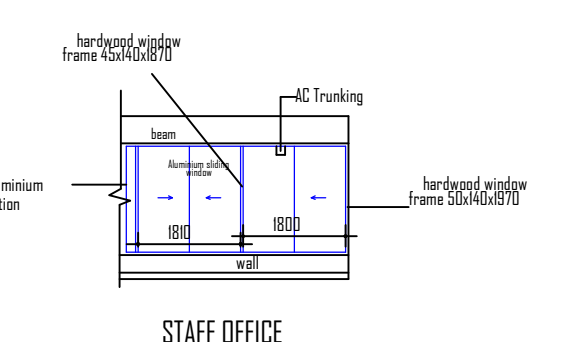
PROPOSED WINDOWS



SPECIAL RESERVE ROOM




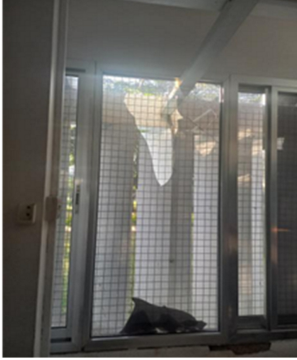
TRAINING RESEARCH & PUBLICATION UNIT





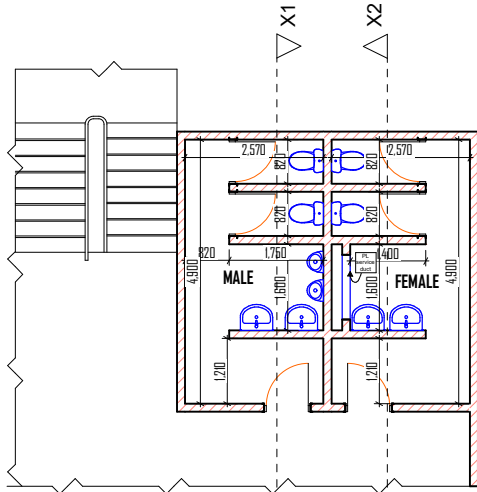
STAFF OFFICE

**LEGEND:**  
 EXISTING WINDOW  
 NEW WINDOW

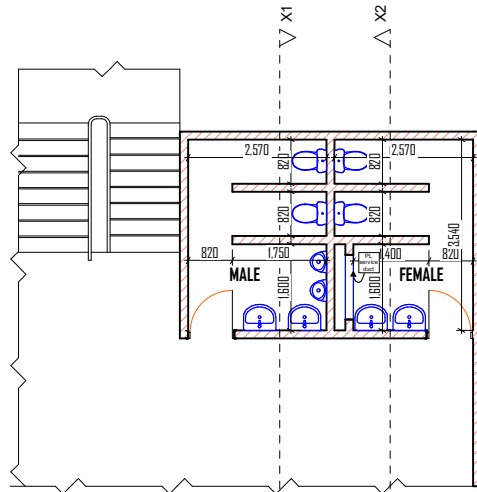
**LOT 2. 4 - LIBRARY BUILDING (NEW WING).**

<b>VOLUME 2.5 - LIBRARY BUILDING (OLD WING)</b>			
<b>S.No.</b>	<b>SCHEDULE OF REHABILITATION WORKS AS PER B.O.Q</b>	<b>CONSULTANT'S REVIEW AFTER A CONDITION SURVEY</b>	<b>PHOTOGRAPHS</b>
5.1	<p><b>PLUMBING WORKS</b> Remove damaged plumbing fittings; supply and fix/install new plumbing fittings.</p> <p><b>Plumbing fixtures are listed in B.O.Q</b></p>	<p>All damaged malfunctioning plumbing fixtures will be removed and replaced with the new ones</p> <p><b>Plumbing fixtures are listed in B.O.Q</b></p>	
5.2	<p><b>ELECTRICAL WORKS</b> Supply and fix Industrial Fan</p> <p><b>Items have been listed in B.O.Q</b></p>	<p>Industrial fan will be fixed</p> <p><b>Items have been listed in B.O.Q</b></p>	
5.3	<p><b>CURTAINS</b> Supply and fix Curtains Complete set fabric and accessories to the following offices in the library building; Records room, Registry, special reserve room, Director office, Secretary office, Administrator office ICT and Publication.</p> <p><b>Items have been listed in B.O.Q</b></p>	<p>Curtains will be fixed in offices</p> <p><b>Items have been listed in B.O.Q</b></p>	
5.4	<p><b>AIR CONDITIONING</b> Supply and fix new original split unit Air conditioner with all associated fittings and</p>	<p>Air Conditioners with wall mounted Indoor/ Fan Coil Unit: Supply, install, test and commission Air conditioner of LG, Toshiba, Sumsung, Daikin Brand</p>	

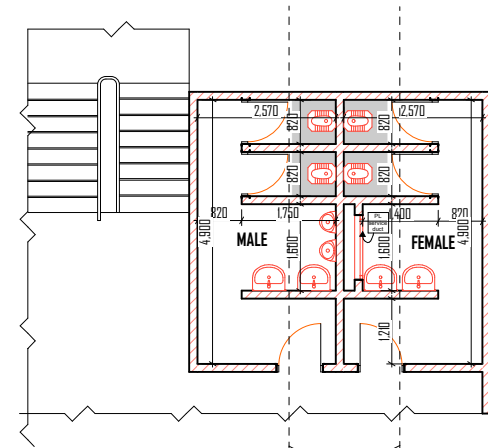
<p>accessories.</p>	<p>or Approved Equivalent. Each Set shall be complete with outdoor air- cooled condensing unit, indoor wall mounted fan coil unit and wireless remote controller. Type of refrigerant should be R410A/ R407C</p>	
<p><b>Air condition components are listed in B.O.Q</b></p>	<p><b>Air condition components are listed in B.O.Q</b></p>	



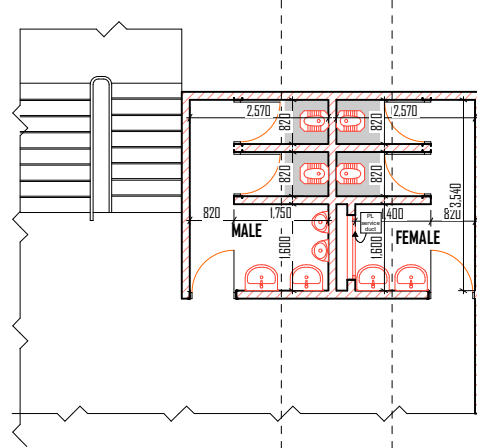
EXISTING  
GROUND FLOOR PLAN



EXISTING  
FIRST FLOOR PLAN

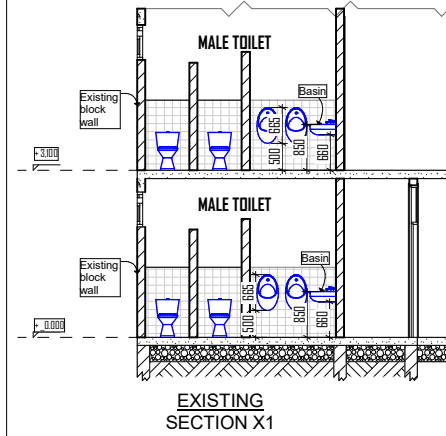


NEW WORK  
GROUND FLOOR PLAN

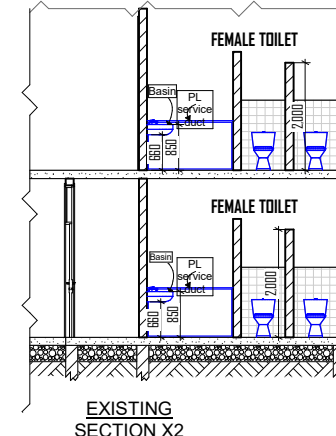


NEW WORK  
FIRST FLOOR PLAN

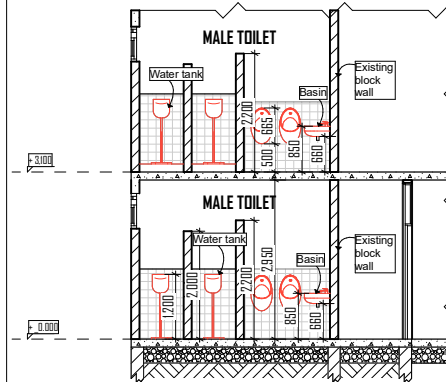
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 NEW WORK  
 EXISTING WORK



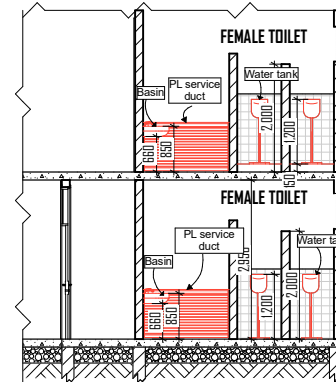
EXISTING  
SECTION X1



EXISTING  
SECTION X2



NEW WORK  
SECTION Y1



NEW WORK  
SECTION Y2

**GENERAL NOTES:**

1. All dimensions are in mm unless otherwise specified
2. All works to be carried out in accordance with council regulations
3. Contractor to check and verify all dimensions on site before commencement of any works

**REVISIONS:**

No.		

**LEAD CONSULTANTS AND ARCHITECTS:**

Consulting Architects and planners

**OGM** OGM Consultants  
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**IN ASSOCIATION WITH:**

**Quantity Surveyors:**  
 Build Consult Ltd  
P.O. Box 32322  
Dar es Salaam, Tanzania

**Structural Engineers:**  
 Anovia Consult Company Ltd  
P.O. Box 95107  
Dar es Salaam, Tanzania

**Service Engineers:**  
**ML** ENGINEERING CONSULTANCY LTD  
P.O. Box 70267  
Dar es Salaam, Tanzania

Project Title:

**PROPOSED REHABILITATION OF  
LIBRARY OLD WING (TOILETS)**



Client:  
**DAR ES SALAAM  
UNIVERSITY COLLEGE  
OF EDUCATION**



Drawing Type: ARCHITECTURAL DRAWINGS  
Drawing Title: **TOILETS PLAN**

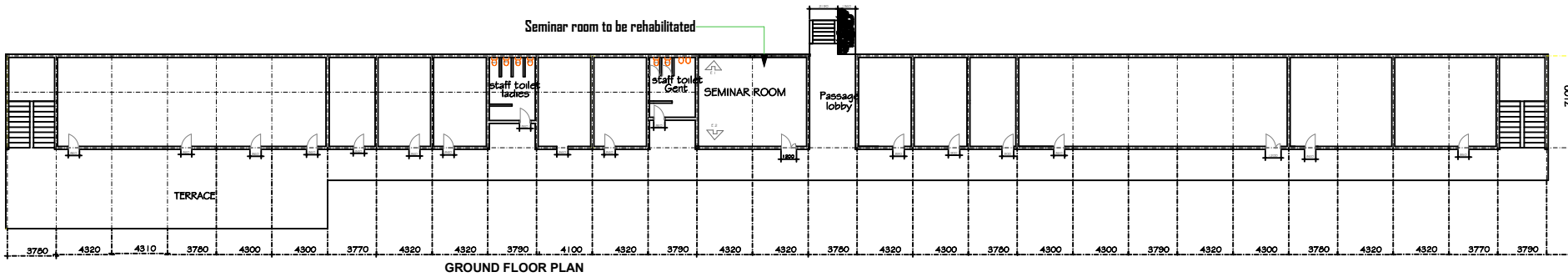
Drawing Details: Designed By: ogm, Drawn By: ogm, Checked By: Modu  
Scale: 1:100  
SHEET NO

Date: FEB, 2024

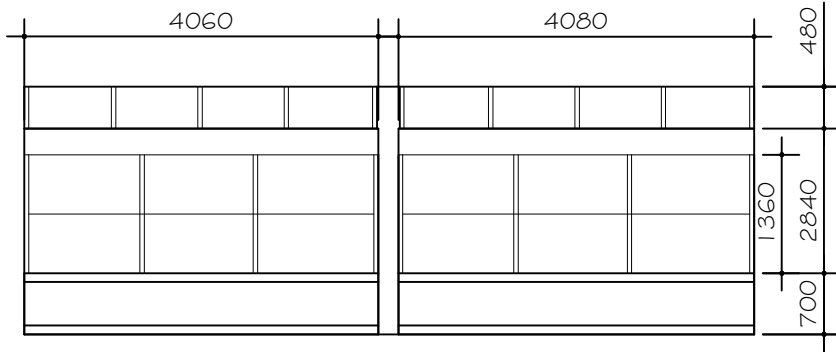
**LOT 2.5 - LIBRARY BUILDING (OLD WING).**

<b>VOLUME 2.6 - RENOVATION OF SEMINAR ROOM FOR SPECIAL EDUCATION NEEDS.</b>			
<b>S.No.</b>	<b>SCHEDULE OF REHABILITATION WORKS AS PER B.O.Q</b>	<b>CONSULTANT'S REVIEW AFTER A CONDITION SURVEY</b>	<b>PHOTOGRAPHS</b>
6.1	<p><b>CARPENTRY, DOORS, WINDOWS AND CURTAINS</b> Supply and fix cotton curtain 2500mm high with adjustable aluminium curtain pole to windows of various size at new offices Humanities.</p> <p><b>Quantity=10 M</b></p>	<p>Curtains will be fixed</p> <p><b>Quantity = As per drawing</b></p>	
6.2	<p><b>DOOR SHUTTER</b> Supply hardwood mninga double door size.</p> <p><b>Quantity=1 No.</b></p>	<p>Hardwood double door size Mninga or equal approved will be fixed</p> <p><b>Quantity= As per drawing</b></p>	
6.3	<p><b>IRON MONGERY</b> Supply 'YALE/HAFELLE/UNION' or other equal and approved iron elami to hard wood with matching screws to approved references.</p> <p><b>Quantity=1 No</b></p>	<p>YALE/HAFELLE/UNION' or other equal and approved iron monger will be supplied</p> <p><b>Quantity= As per drawing</b></p>	
6.4	<p><b>UPPER WINDOW SEALING</b> Supply and fix white elamine board and Mninga/equivalent hardwood beads for</p>	<p>Mellamine board and Mninga/equivalent hardwood beads for upper windows and vent sealing works will be fixed.</p>	

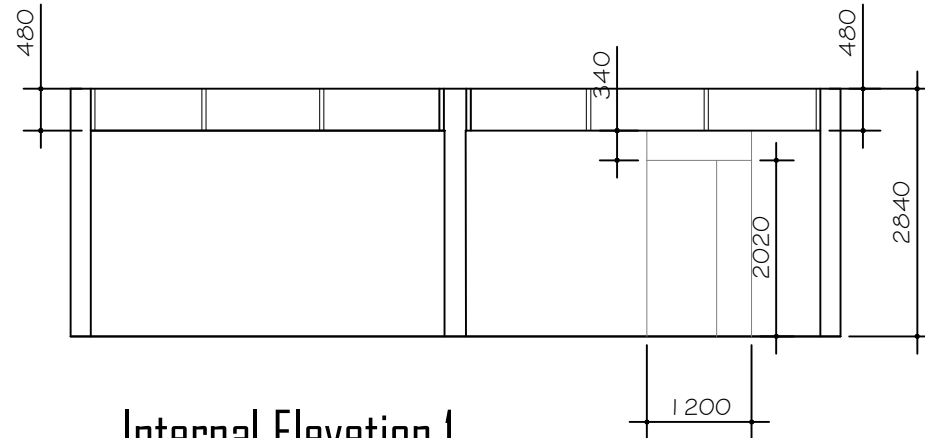
	<p>upper windows and vent sealing works Quantity=2,500 sq.m Internal Walls <b>Quantit = 4 No.</b></p>	<p><b>Quantity= As per drawing</b></p>	
6.5	<p><b>FINISHINGS</b> Supply and fix new floor tiles</p> <p><b>Quantity=90 Sq.m.</b></p>	<p>600 x 600mm New floor tiles with R.A.K brand will be fixed</p> <p><b>Quantity= As per drawing</b></p>	
6.6	<p><b>AIR CONDITIONER INSTALLATION</b> Supply and fix air conditions in this room.</p> <p><b>Quantity= 2No.</b></p>	<p>Air conditions in this room will be fixed</p> <p><b>Quantity= As per drawing</b></p>	
6.7	<p><b>ELECTRICAL WORKS</b> Supply and fix electrical materials as instructed in B.O.Q.</p> <p><b>Quantity= 1</b></p>	<p>Electrical materials will be fixed</p> <p><b>Quantity= As per drawing</b></p>	
<p>• Note; Room to be rehabilitated is currently named as "DUCE/SR/1"</p>			



GROUND FLOOR PLAN



Internal Elevation 2



Internal Elevation 1

**LOT 2. 6 - SEMINAR ROOM. (To be renovated).**

GENERAL NOTES:

1. All dimensions are in mm unless otherwise specified
2. All works to be carried out in accordance with council regulations
3. Contractor to check and verify all dimensions on site before commencement of any works

REVISIONS:

No.		

LEAD CONSULTANTS AND ARCHITECTS:

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IN ASSOCIATION WITH:

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Structural Engineers:

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P.O. Box 95107  
Dar es Salaam, Tanzania

Service Engineers:

**ML ENGINEERING CONSULTANCY LTD**  
P.O. Box 70267  
Dar es Salaam, Tanzania

Project Title:

**PROPOSED REHABILITATION OF SEMINAR ROOM.**

Client:  
**DAR ES SALAAM UNIVERSITY COLLEGE OF EDUCATION**

Drawing Type: ARCHITECTURAL DRAWINGS  
Drawing Title: FLOOR & INTERNAL ELEVATION PLAN

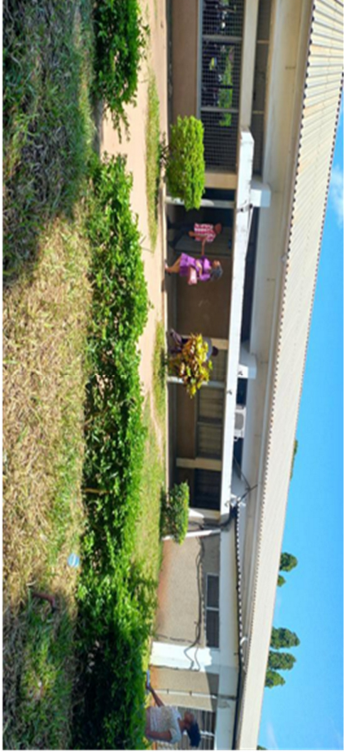
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Designed By: ogm  
Drawn By: ogm  
Checked By: Modu

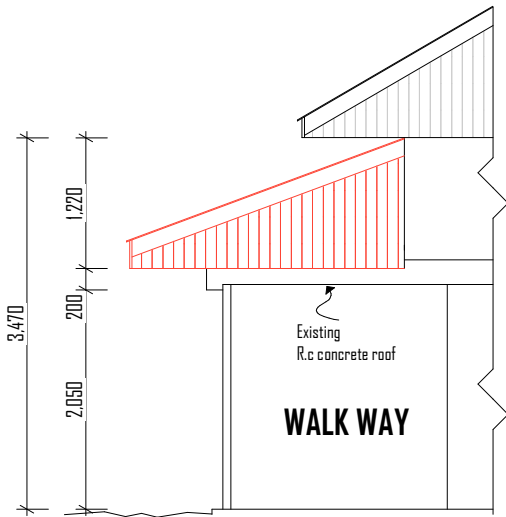
Date: FEB, 2024

SHEET NO.

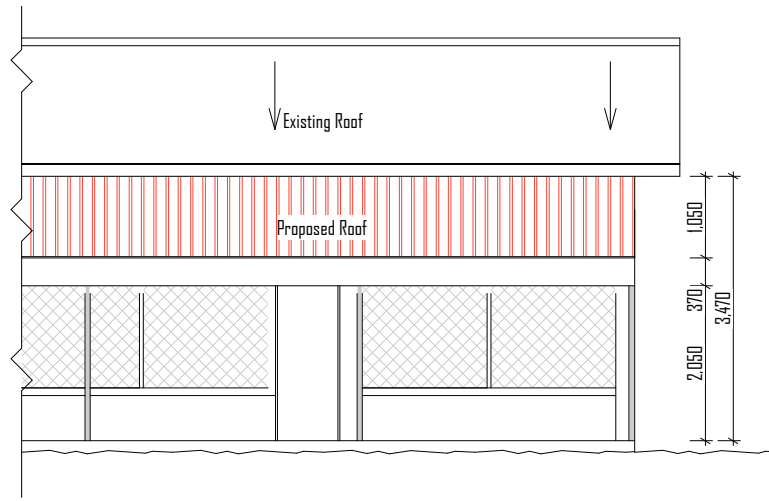


<b>VOLUME 2.7 - SCIENCE BLOCK</b>			
<b>S.No.</b>	<b>SCHEDULE OF REHABILITATION WORKS AS PER B.O.Q</b>	<b>CONSULTANT'S REVIEW AFTER A CONDITION SURVEY</b>	<b>PHOTOGRAPHS</b>
7.1	<b>ROOFING OF THE CONCRETE FLAT ROOF</b> Supply and fix roofing materials for roofing leaking concrete flat roof including painting materials on roof.  <b>Quantity=20 NR</b>	IT 5 roofing materials with 26 Gauge will be fixed  <b>Quantity = As per drawing</b>	
7.2	<b>PAINTING</b> Wire-brush the surface to remove existing paint, prepare surface and apply weather guard paint to roof and walls.  <b>Quantity= 70 Sq. m</b>	Two finishing coats of Goldstar or equal approved will be applied  <b>Quantity = As per drawing</b>	

<b>VOLUME 2.8 - NEW LECTURE THEATRE:</b>			
<b>S.No.</b>	<b>SCHEDULE OF REHABILITATION WORKS AS PER B.O.Q</b>	<b>CONSULTANT'S REVIEW AFTER A CONDITION SURVEY</b>	<b>PHOTOGRAPHS</b>
8.1	<b>ROOF COVERING</b> Remove existing roofing sheets to steel trusses. Cover flat or sloping roof not exceeding 45 degrees from horizontal, fixed to Z-purlins with roofing screws and bituminous washers..  <b>Quantity= 1360 Sq.m.</b>	Existing roofing sheet will be removed and replaced with IT 5 with 26 gauge roofing sheet  <b>Quantity= As per drawing</b>	
8.2	<b>FLAT ROOF</b> Supply and fix the following roofing materials here under for roofing leaking concrete flat roof including painting materials on roof.  <b>Quantity= 70 Sq.m.</b>	Hack to remove existing screed and cart away debris and replace with 40mm ( average) screed to falls, cross falls and slopes not exceeding 15 degrees from horizontal to receive water proofing membrane  <b>Quantity= As per drawing</b>	
8.3	<b>CEILING</b> Remove existing damaged suspended ceiling tiles. Replace with new approved ceiling tiles size 600x600x10mm at approximately +10m from existing floor level.  <b>Quantity=1500 Nos</b>	Damaged suspended ceiling tiles will be removed and replaced with new ones.  <b>Quantity= As per drawing</b>	

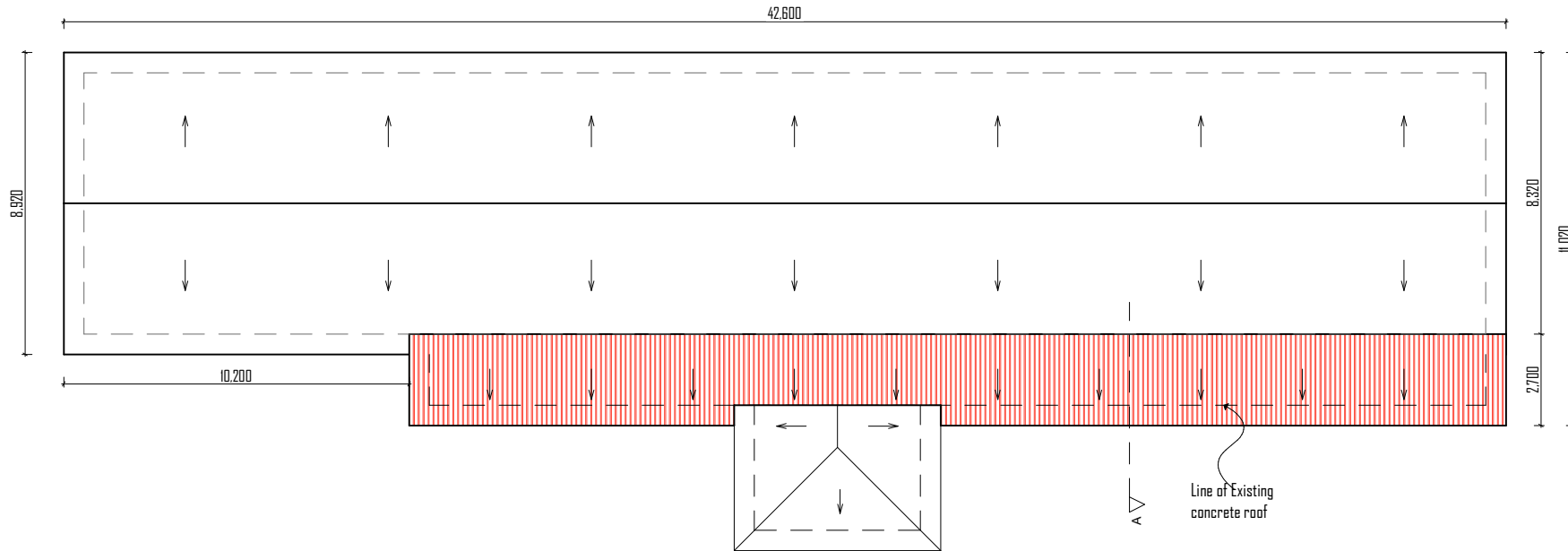
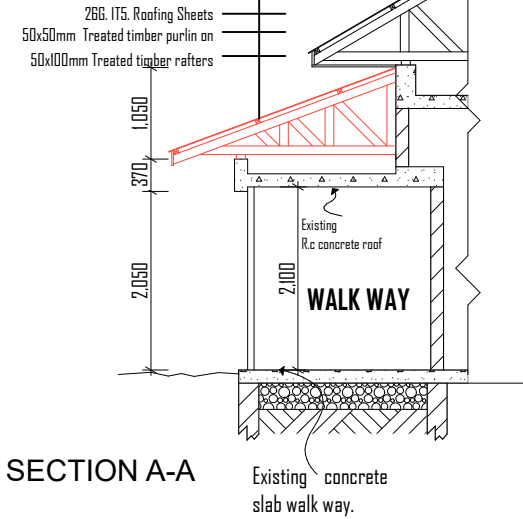


RIGHT SIDE ELEVATION



FRONT SIDE ELEVATION

SECTION A-A



PROPOSED ROOF PLAN

**LEGEND:**

- 1: New Roofing sheets to be replaced with 26G IT5 covered.
- 2: Existing Roofing sheets to be retained.

**LOT 2. 7 - SCIENCE BLOCK**

**GENERAL NOTES:**

1. All dimensions are in mm unless otherwise specified
2. All works to be carried out in accordance with council regulations
3. Contractor to check and verify all dimensions on site before commencement of any works

**REVISIONS:**

No.		

**LEAD CONSULTANTS AND ARCHITECTS:**

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**OGM** OGM Consultants  
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**IN ASSOCIATION WITH:**

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**Structural Engineers:**

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P.O. Box 95107  
Dar es Salaam, Tanzania

**Service Engineers:**

**ML ENGINEERING CONSULTANCY LTD**  
P.O. Box 70267  
Dar es Salaam, Tanzania

Project Title:  
**PROPOSED REHABILITATION OF SCIENCE BLOCK (WALK WAY ROOF)**

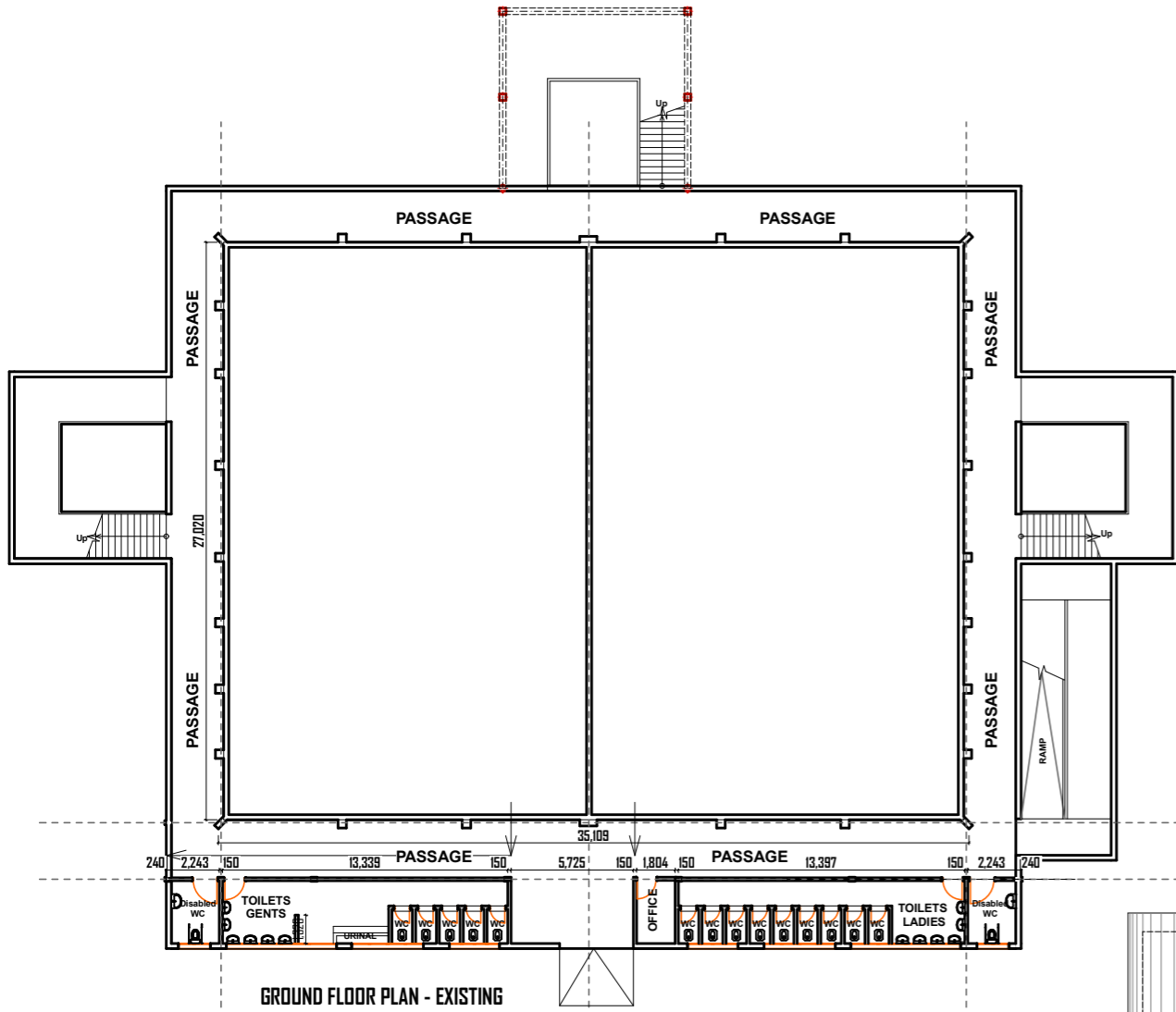
Client:  
**DAR ES SALAAM UNIVERSITY COLLEGE OF EDUCATION**

Drawing Type: ARCHITECTURAL DRAWINGS  
Drawing Title: **ROOF PLAN**

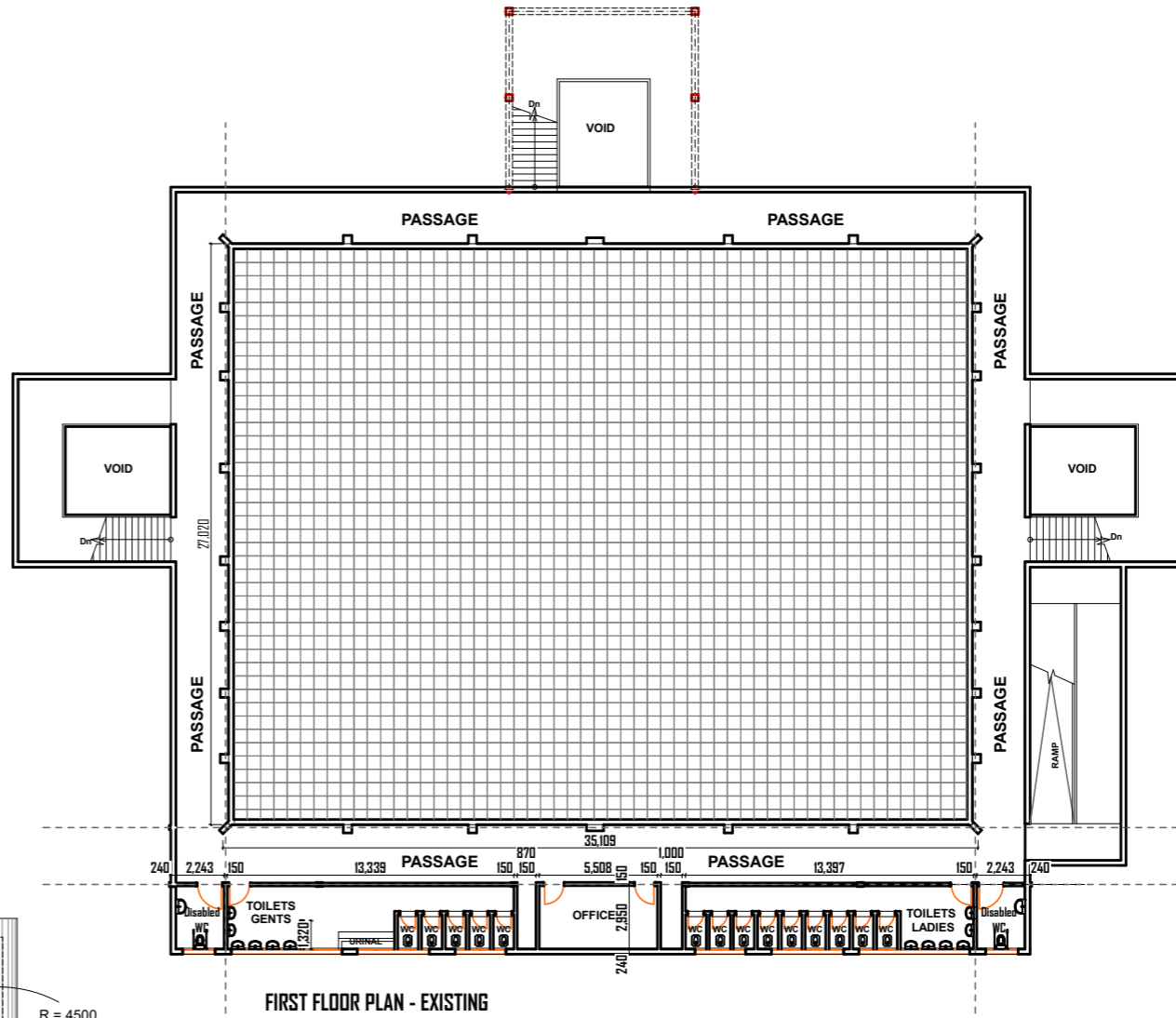
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Designed By: ogm | Drawn By: ogm | Checked By: Modu | SHEET NO.

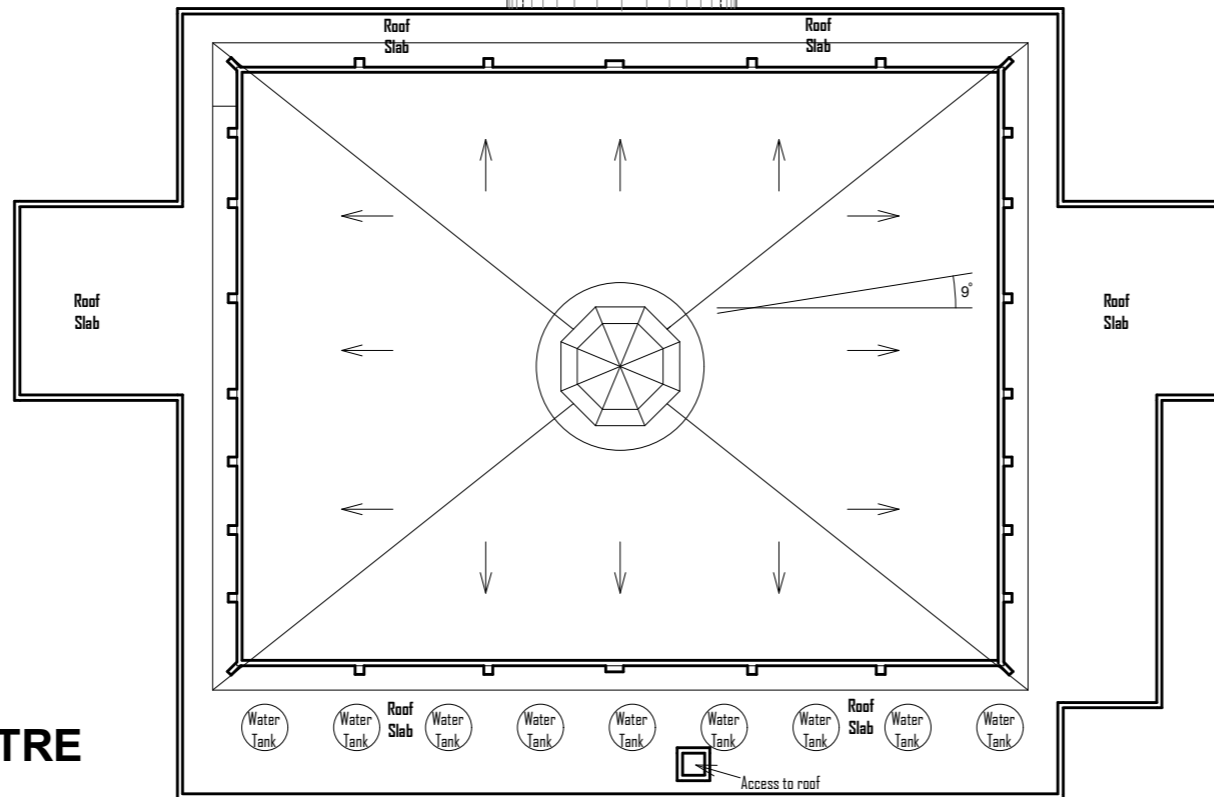
Date: FEB, 2024



GROUND FLOOR PLAN - EXISTING



FIRST FLOOR PLAN - EXISTING



ROOF PLAN - EXISTING

**LOT 2.8 - NEW LECTURE THEATRE**

GENERAL NOTES:

- All dimensions are in mm unless otherwise specified
- All works to be carried out in accordance with council regulations
- Contractor to check and verify all dimensions on site before commencement of any works

REVISIONS:

No.	

LEAD CONSULTANTS AND ARCHITECTS:

Consulting Architects and planners



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P.O. Box 95107  
Dar es Salaam, Tanzania

Service Engineers:



ML ENGINEERING CONSULTANCY LTD  
P.O. Box 70267  
Dar es Salaam, Tanzania

Project Title:

**PROPOSED REHABILITATION OF  
NEW LECTURE THEATRE.**

Client:



**DAR ES SALAAM  
UNIVERSITY COLLEGE  
OF EDUCATION**

Drawing Type:

ARCHITECTURAL  
DRAWINGS

Drawing Title:

**FLOOR AND ROOF PLAN**

Drawing Details:

Designed By:  
ogm

Drawn By:  
ogm


Checked By:  
Modu

Date: FEB, 2024

Scale:

1:100

SHEET NO

8.4	<b>PLUMBING</b> Replace defective toilets with new one- Western type complete with cistern tanks including removal of existing ones. Replace defective toilets with new one- Asian type complete with cistern tanks including removal of existing ones.	Defective toilets will be replaced with new ones  <b>Quantity = As per drawing</b>	
8.5	<b>VIMBWETE TOILETS</b> Replace defective toilets with new one-Asian type complete with cistern tanks including removal of existing ones.	Defective toilets will be replaced with new ones.  <b>Quantity= As per drawing</b>	
8.6	<b>NEW DAMAGED AREAS WHICH WERE NOT INCLUDED IN THE SCOPE BUT THEY NEED TO BE REHABILITATED:</b> <ul style="list-style-type: none"> <li>• Toilet Doors Toilet doors are damaged. To be replaced with the new ones.</li> <li>• Iron Mongeries They are damaged. They need to be replaced with the new ones.</li> <li>• Toilet Floor Finish Some of the toilets floor tiles are damaged. They need to be replaced with new ones.</li> </ul>		

## VOLUME 2.9 - COLLEGE GENERATORS:

S.No.	SCHEDULE OF REHABILITATION WORKS AS PER B.O.Q	CONSULTANT'S REVIEW AFTER A CONDITION SURVEY	PHOTOGRAPHS
9.1	<b>INSTALLATION OF AUTOMATIC CHANGE OVER SWITCH TO COLLEGE GENERATORS</b> Install automatic change over switch to three college generators as stated in B.O. Q.  <b>Quantity = 1pc + 1pc</b>	New And Original Automatic Switch(Change Over) for Geh250-400amps Generator will be installed. New And Original Automatic Change Over Switch To Tpc 100kva – 160amps Generator will be installed.  New and Original Automatic Change Over Switch To Gepx 110 100kva – 160amps Generator will be installed <b>Quantity = As per drawing</b>	

## VOLUME 2.10 - MBAGALA HOSTELS:

S.No.	SCHEDULE OF REHABILITATION WORKS AS PER B.O.Q	CONSULTANT'S REVIEW AFTER A CONDITION SURVEY	PHOTOGRAPHS
10.1	<b>DEMOLITION, ALTERATION AND BUILDERS' WORKS</b> Remove existing mangrove tiles together with underlying roof timber trusses and adjoining purlins and carefully assemble the same in locations within the hostels as directed by supervisor, <b>Quantity= 260 Sq.m.</b> Remove existing timber brandering complete with gypsum boards and cornice and carefully assemble the same in locations within the hostels as directed by supervisor <b>Quantity= 200 Sq.m.</b> Construct a 150mm thick wall on the stopping course of the existing wall to increase ceiling height including plastering and removal of debris resulting from works away from site. Fix 28gauge, IT5 precoated zinc Alum sheets complete with roofing ridges and associated fasteners (measured as plane surface) <b>Quantity= 90 Sq.m.</b>	Existing mangrove tiles will be removed. <b>Quantity= As per drawing</b>  <b>Quantity= As per drawing</b> 150mm thick wall on the stopping course of the existing wall to increase ceiling height will be constructed. <b>Quantity= As per drawing</b>	
10.2	<b>ROOFING WORKS</b> Erect new timber trusses consisting of 50x150mm treated timber as of SAO HILL equivalent Tie beams, rafters and bracing chords fixed to 50x100mm wall plates and comprising of 50x50mm purlins and 25x250mm planed fascia boards as per drawing details, (measured in angle 45 degrees plane surface)  Fix 28gauge, IT5 precoated zinc Alum sheets complete with roofing ridges and associated fasteners (measured as plane surface) <b>Quantity= 320 Sq.m.</b>	IT 5 roofing sheets with 26 gauge will be fixed          <b>Quantity= As per drawing</b>	

10.3	<p><b>WORKS TO CEILINGS</b> Fix new timber branderer consisting of 50x50mm treated timber as of SAO HILL equivalent timber members at 600mm centres together with fibred gypsum board ceiling and 3" cornice to rooms and verandah of the block as per drawing details to create new ceiling at height 3050mm from existing floor level.</p> <p><b>Quantity= 220 Sq.m.</b></p>	<p>9mm Gypsum boards with fibres as of Elephant brand or equal and approved brand; including cornices will be fixed</p> <p><b>Quantity= As per drawing</b></p>	
10.4	<p><b>WORKS TO WINDOWS</b> Carefully remove existing wooden casement window to rooms, re- size the windows lengths to up to 2700mm using hard wood timber as of Mkongo or Mninga or equivalent and approved to frames and shutters to matching existing designs and re fix the enlarged windows including making good all disturbed works</p> <p><b>Quantity = 10 No.</b></p>	<p>Existing wooden casement window to rooms, window lengths will be resized to up to 2100mm</p> <p><b>Quantity= As per drawing</b></p>	
10.5	<p><b>PAINTING WORKS</b> Scrap off loose paints skim and sand paper surfaces and apply at least one coat of acrylic primer paint followed by at least two coats of appropriate acrylic paints to surfaces of plastered walls internally, externally, surfaces of rendered walls as well as ceilings.</p> <p><b>Quantity= 500 Sq.m Internal walls = 160 Sq.m External walls = 220 Sq.m Ceiling</b></p>	<p>Internal and external walls as well as ceiling will be painted</p> <p><b>Quantity= As per drawing</b></p>	
10.6	<p><b>SHIFTING OF FURNITURE</b></p> <ul style="list-style-type: none"> <li>&gt; Shifting chairs from Kijichi</li> <li>&gt; Shifting tables from Kijichi</li> <li>&gt; Shifting wardrobes from Kijichi</li> </ul> <p><b>Quantity= 100 chairs = 100 tables = 100 wardrobes</b></p>	<p>Furniture will be shifted</p> <p><b>Quantity= As per drawing</b></p>	
<p>• Note; There are five blocks at Mbagala Hostels which are block A, B, C, D and E. They are all damaged but we were instructed to work on block A and B but due to deficit of budget, only block A will be rehabilitated.</p>			

10.7	<p><b>NEW DAMAGED AREAS WHICH WERE NOT INCLUDED IN CLIENT'S SCOPE BUT THEY ARE INCLUDED IN OUR B.O.Q</b></p> <ul style="list-style-type: none"> <li>• <b>Floor tiles</b> Hack the existing floor screed and fix fully bodied non-glazed R.A.K. Porcelain floor tiles or equal and approved brand with cushion edges fixed to screed (m/s) with adhesive and pointed with coloured grout</li> <li>• <b>Painting to Existing Doors and Frames</b> Prepare and apply one undercoat and two finishing coats of Goldstar satin wood preservative matt finish or equal and approved on wood surfaces</li> <li>• <b>Ironmongeries to Existing Doors</b> Supply and fix the following ironmongery as per HAFELLE or equal and approved manufacturer to or timber with suitable screws provided</li> <li>• <b>Laundry Area</b> Taps fixed at this place, are not working and generally this area was observed to be unpleasant. It should be made good.</li> <li>• <b>Sanitary Appliances</b> Taps, shower kits as well as flushing cisterns fixed in washrooms are damaged. They should be replaced with the new ones.</li> <li>• <b>Lighting Fixtures</b> Lights, switches and sockets in these blocks are not working. They should be replaced with the new ones.</li> </ul>
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## MBAGALA HOSTEL PHOTOS



### 3.0 NEW WORKS

- 3.1 Improvement of Existing Football Pitch.
- 3.2 Construction of Basketball Court.
- 3.3 Construction of Volleyball Court.
- 3.4 Construction of Netball Court.
- 3.5 Construction of Swimming Pool.
- 3.6 Construction of Indoor Games Court.

Note: **NEW WORKS: DAMAGED AREAS WHICH WERE NOT INCLUDED IN CLIENT'S SCOPE BUT ARE INCLUDED IN OUR B.O.Q HAVE BEEN INCLUDED AT THE END OF RESPECTIVE VOLUMES.**

### 4.0 ITEMS OMISSION

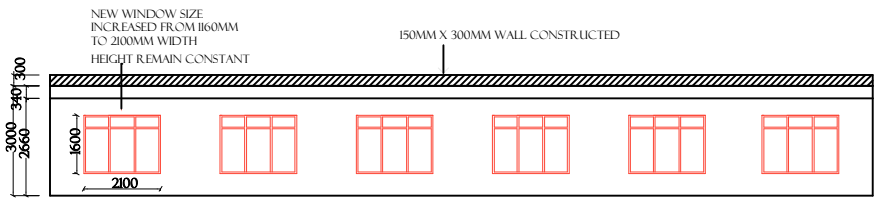
The following are the items that were included in Client's scope but we as consultants recommend to omit them due to deficit observed in Consultant's estimates vs Client's budget.

- a) Exclusion of HVAC installation in TPC building.
- b) Exclusion of fence wall construction.
- c) Exclusion of Telecom Intercom System, Overhaul of Library Network, PMU/ Estate/ TPC Third Floor and Server Room as well as Canteen gas installation.
- d) Rehabilitation works for Mbagala Blocks to be done in one block only.

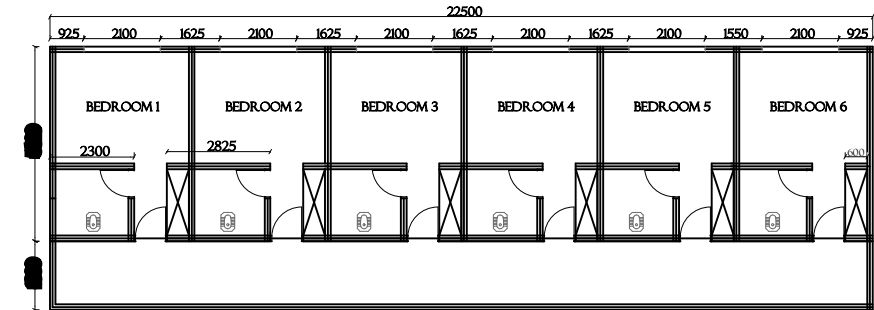
### 5.0 CONCLUSION

Expansion of College Dispensary to accommodate PMCTC Unit has been omitted from the scope and replaced with Rehabilitation and Repair works of Mbagala Hostel (1 Block).

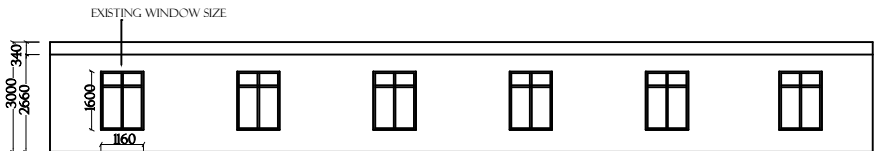
Therefore, the team visited Mbagala Hostels on 08<sup>th</sup> December, 2023 and its observations have been tabulated above.



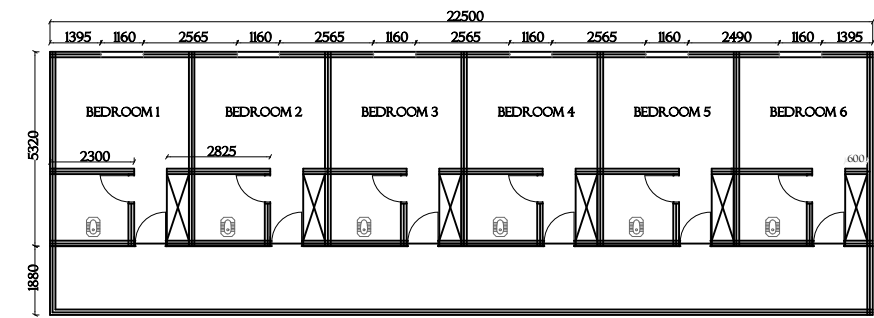
BLOCK B  
NEW ELEVATION



BLOCK B  
NEW PLAN

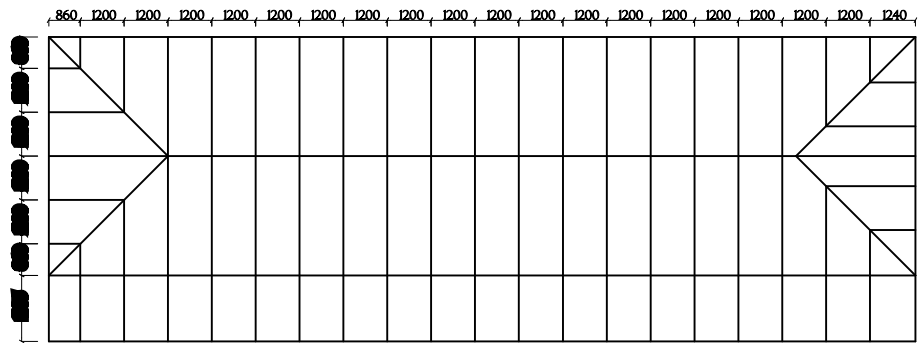


BLOCK B  
EXISTING ELEVATION

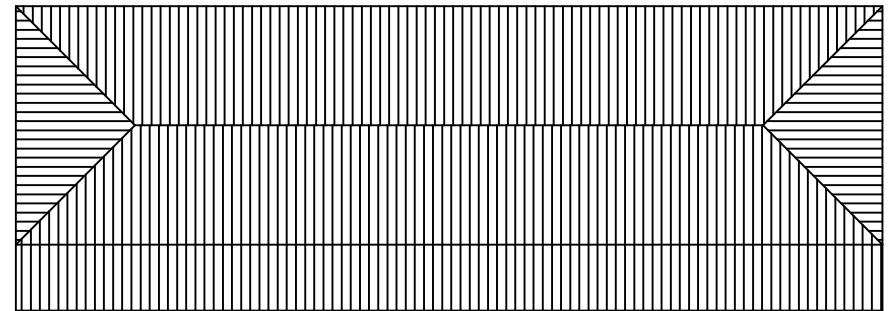


BLOCK B  
EXISTING PLAN

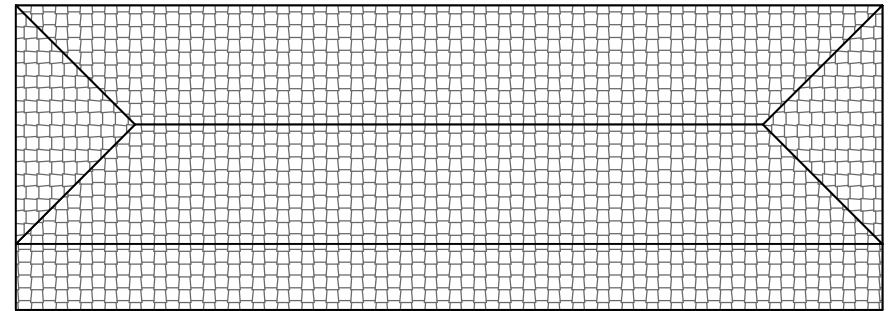
**LEGEND:**  
 NEW WORK  
 EXISTING WORK



NEW ROOF TRUSS LAYOUT



NEW ROOF PLAN USING ITS ROOFING SHEETS



EXISTING ROOF PLAN COVERED WITH MANGALORE TILES


**GENERAL NOTES:**  
 1. All dimensions are in mm unless otherwise specified  
 2. All works to be carried out in accordance with council regulations  
 3. Contractor to check and verify all dimensions on site before commencement of any works

**REVISIONS:**

No.		

**LEAD CONSULTANTS AND ARCHITECTS:**  
**Consulting Architects and planners**  
 OGM Consultants  
 P.O. Box 32428  
 Dar es Salaam, Tanzania  
 Fax: +255 22 2772427  
 Email: ogmcon@yahoo.com

**IN ASSOCIATION WITH:**  
**Quantity Surveyors:**  
 Build Consult Ltd  
 P.O. Box 32322  
 Dar es Salaam, Tanzania

**Structural Engineers:**  
 Anova Consult Company Ltd  
 P.O. Box 95107  
 Dar es Salaam, Tanzania

**Service Engineers:**  
 ML ENGINEERING CONSULTANCY LTD  
 P.O. Box 70267  
 Dar es Salaam, Tanzania

Project Title:  
**PROPOSED REHABILITATION OF MBAGALA HOSTELS.**

Client:  
 DAR ES SALAAM UNIVERSITY COLLEGE OF EDUCATION

Drawing Type: ARCHITECTURAL DRAWINGS	Drawing Title: FLOOR, ROOF & ELEVATION PLAN	Scale: 1:100
Drawing Details:		SHEET NO
Designed By: ogm	Drawn By: ogm	
Date: FEB, 2024		Checked By: Modu

# LOT 2. 10 - MBAGALA HOSTELS.